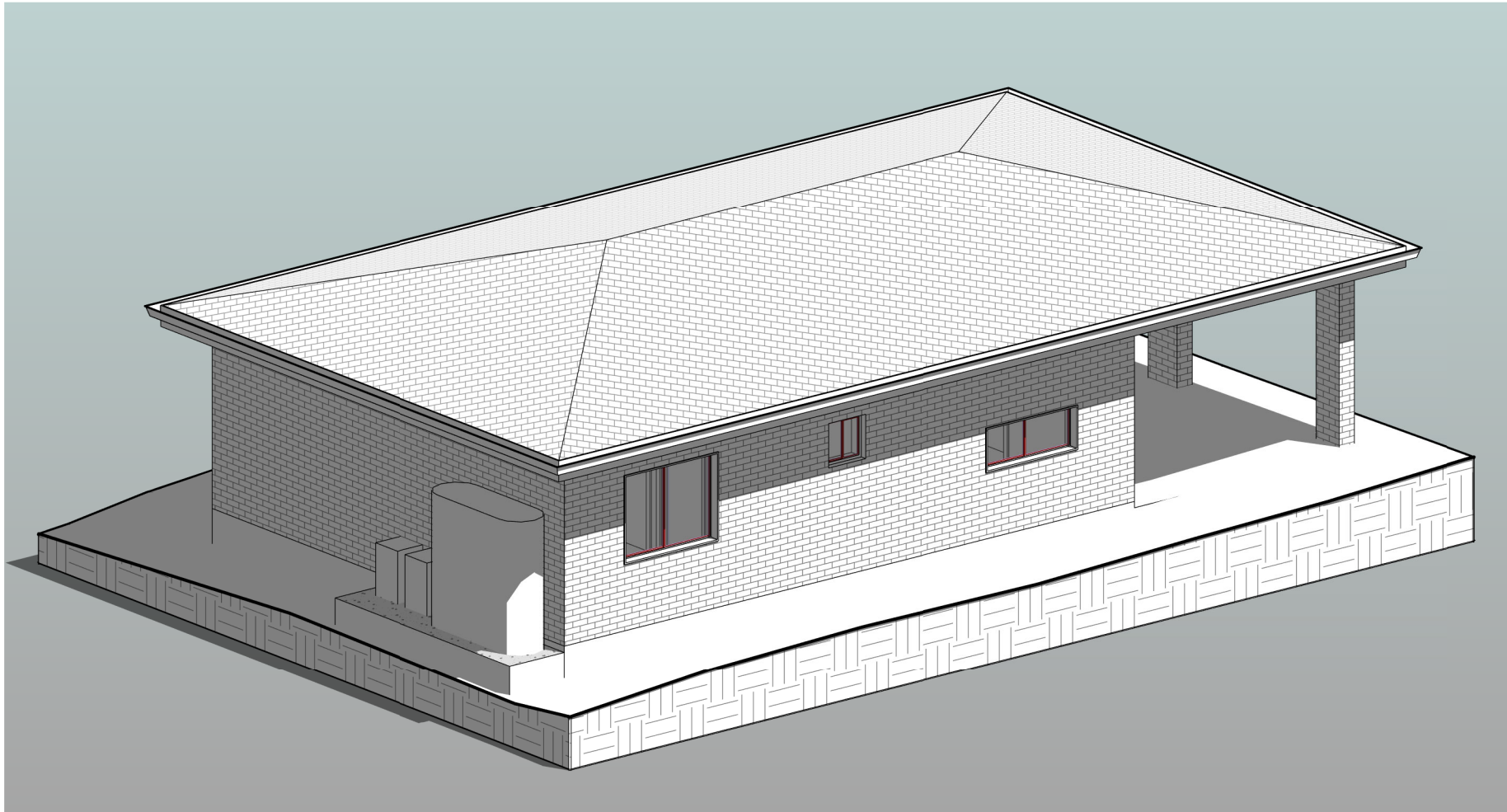


PROPOSED SECONDARY DWELLING AND PROPOSED COVERED CARPORT AT 8 OWEN ROAD, GEORGES HALL



ALL STANDARDS AND CODES INCLUDING BUT NOT LIMITED TO THE BCA/ NCC AND ANY REFERENCED AS/NZS STANDARD TO APPLY AND BE CONFORMED WITH AS REQUIRED.

- ALL DEMOLITION WORK IS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2601 - 2001 (THE DEMOLITION OF STRUCTURES)
- CONVENTIONAL TIMBER ROOF FRAMING TO COMPLY WITH AS 1684.4-2006 TIMBER FRAMING CODE - COMPLY WITH PART 3.4.3 OF BCA - WALL CLADDING 3.5.3
- STEEL ROOF TO BE INSTALLED WITH A THERMAL BREAK WITH R-VALUE OF NOT LESS THAN 0.2 IN ACCORDANCE WITH NSW 13.2.3. (1)(2) OF BCA 2022
- METAL FRAME EXTERNAL WALLS TO BE INSTALLED WITH A THERMAL BREAK WITH AN R-VALUE OF NOT LESS THAN 0.2 IN ACCORDANCE WITH NSW 13.2.5(1)(2)
- STEEL STRUCTURES TO AS 4100
- RESIDENTIAL SLABS AND FOOTINGS TO AS 2870
- DAMP PROOF COURSE AND FLASHINGS TO AS 2904
- All Glazing to be in accordance with H1 D8 of BCA 2022
- SKYLIGHTS, EXTERNAL WINDOWS AND DOORS, EXHAUST FANS, CONSTRUCTION OF CEILINGS, WALLS AND FLOORS, EVAPORATIVE COOLERS TO BE SEALED IN ACCORDANCE WITH PART 13.4.(2)(3)(4)(5)(6)(7) OF BCA 2022.
- INSULATION MUST COMPLY WITH AS/NZS 4859.1 AND TO BE INSTALLED IN ACCORDANCE WITH PART 13.2.2(1)(2)(3) OF BCA 2022
- INSULATION OF SERVICES, CENTRAL HEATING WATER PIPING, HEATING AND COOLING DUCTWORK TO BE COMPLETED IN ACCORDANCE WITH PART 13.7(2)(3)(4) OF BCA 2022.
- HARD WIRED SMOKE ALARM TO BE INSTALLED IN ACCORDANCE WITH PART NSW 9.5.1 OF NCC 2022
- WATERPROOFING TO WET AREAS AND BATHROOM CONSTRUCTION TO BE IN ACCORDANCE WITH AS 3740-1994 WATERPROOFING OF WET AREAS WITH IN RESIDENTIAL BUILDINGS + PART 2.1, PART3.8.1 OF BCA
- TREATMENT FOR THE PROTECTION OF THE BUILDING FROM SUBTERRANEAN TERMITES SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 3660.1. IN SELECTING APPROPRIATE MATERIAL + COMPLY WITH PART 3.1.3 OF THE BCA.
- SUB FLOOR VENTILATION UNDER SUSPENDED FLOORS MUST BE IN ACCORDANCE WITH PART 3.4.1 OF THE BCA.
- NON-SLIP NOSING'S OR TREADS TO STAIRS TO COMPLY WITH CLAUSE 3.9.1.4 OF THE BCA
- ALL MASONRY WALLS TO HAVE EXPANSION JOINTS TO COMPLY WITH BCA REQUIREMENTS
- FIRE RATED MASONRY WALL WITH AN FRL OF 60/60/60 AS PER PART 9.2.3 OF NCC 2022
- A HIGH IMPACT VAPOR BARRIER TO COMPLY AS PER THE REQUIREMENTS OF CLAUSE 3.2.2.6 OF THE BCA
- MASONRY CONSTRUCTION TO COMPLY WITH AS 3700
- GUTTERS AND DOWNPIPES TO COMPLY WITH AS 3500.3 OR 3500.5
- ALL ENCLOSED WATER CLOSET DOORS ARE TO SWING OUT OR TO BE PROVIDED WITH LIFT OFF HINGES OR THE LIKE IF THE DOOR IS WITHIN 1200MM OF THE PAN IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 3.8.3.3 OF VOLUME 2 OF THE NCCS (BCA)
- ALL STAIRS WILL BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF CLAUSE 3.9.1.2 OF VOLUME 2 OF THE NCCS-BCA
- THE FINISH OF ALL OF THE STAIRS WILL MEET THE REQUIREMENTS OF CLAUSE 3.9.1.4 OF VOLUME 2 OF THE NCCS-BCA
- ALL LANDINGS PROVIDED WILL MEET THE REQUIREMENTS OF CLAUSE 3.9.1.5 OF VOLUME 2 OF THE NCCS-BCA
- PAINTING TO AS 2311
- HOUSING WIND LOADINGS AS 4055
- MECHANICAL VENTILATION TO BE PROVIDED AS PER BCA PART 10.6.3, 10.8.2 & 10.8.3

DRAWING LIST

Sheet Number	Sheet Name
A00	COVER SHEET
A01.02	SITE PLAN, SITE ANALYSIS PLAN & ROOF PLAN, WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
A01.03	WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN
A01.04	LANDSCAPING PLAN AND IMPERVIOUS AREA
A02.01	EXISTING HOUSE PLAN
A02.02	PROPOSED GROUND FLOOR PLAN
A02.03	CARPORT FLOOR PLAN AND ELEVATIONS
A03	ELEVATIONS & SECTION - SECONDARY DWELLING
A04	SCHEDULE OF MATERIALS & FINISHES
A05.01	SHADOW DIAGRAM - 21ST JUN
A05.02	3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR
A06	ACOUSTIC REQUIREMENTS
A07	BASIX REQUIREMENTS
A08	NOTIFICATION PLANS

ISSUED FOR DA

A	31.07.2025	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

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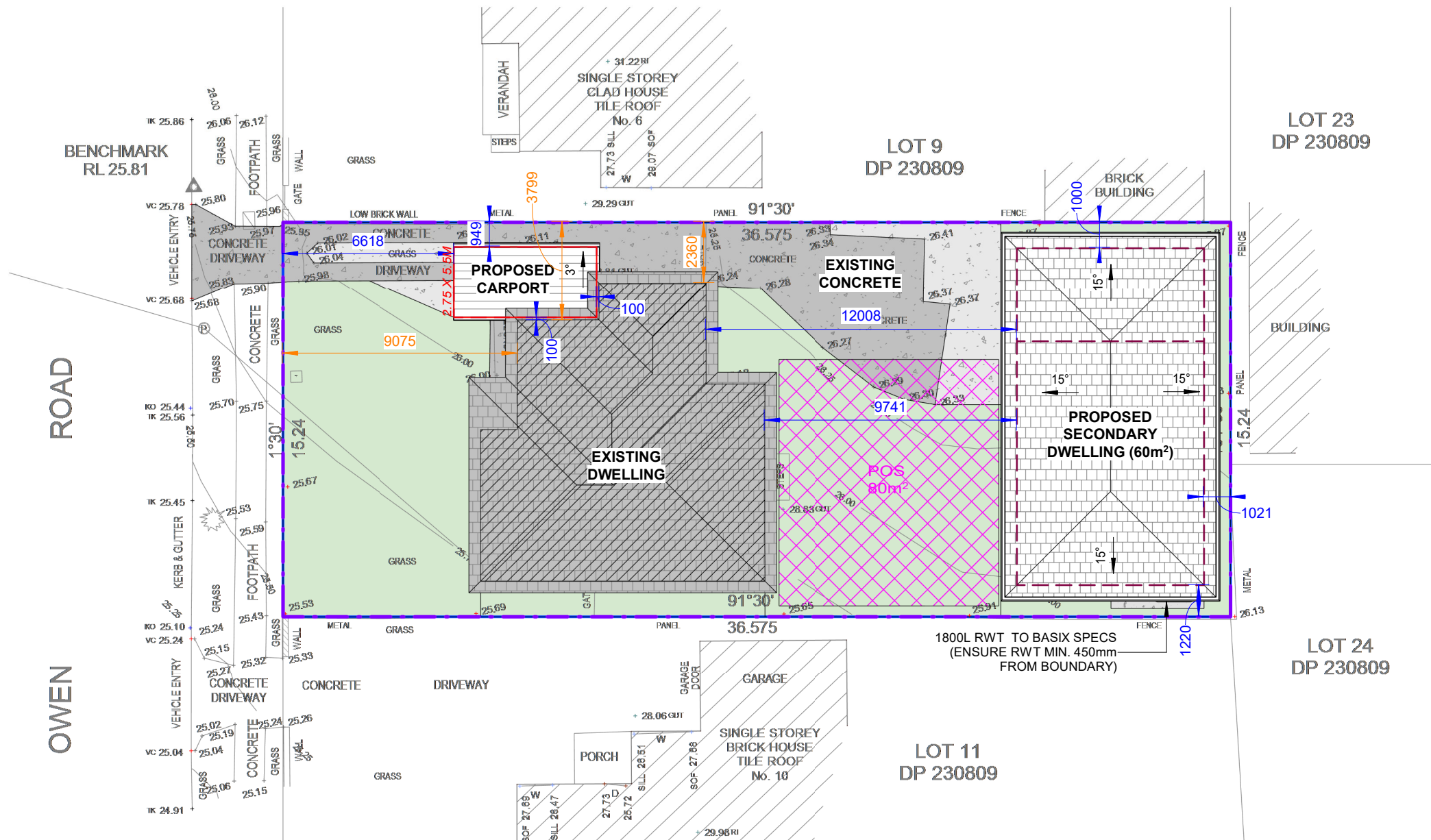
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402-410 CHAPEL RD, BANKSTOWN,
NSW 2200
P: 9709 5555 M: 9422 606 228
E: abraham@nemcodesign.com.au

STRUCTURAL ENGINEERING
& ARCHITECTURAL DESIGN

**PROPOSED SECONDARY DWELLING AND
PROPOSED COVERED CARPORT**
8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809

COVER SHEET

JOB NUMBER: 25374	DWG NUMBER: A00	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	



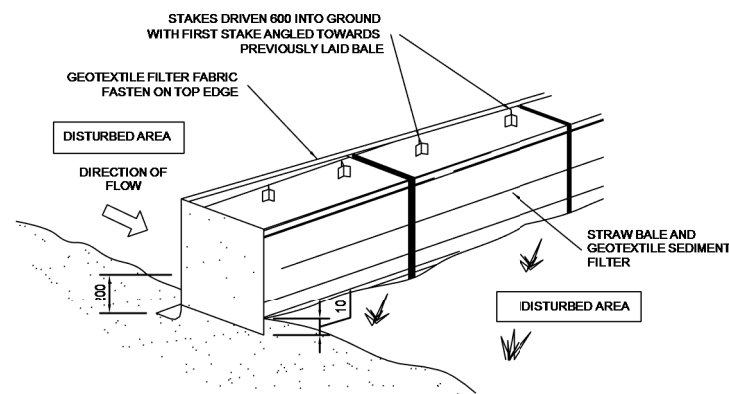
SITE CALCULATIONS	
FLOOR AREA/ SITE CALCULATIONS	
SITE AREA:	556.4m ²
AREA OF EXISTING HOUSE:	104.7m ²
AREA OF PROPOSED SECONDARY DWELLING:	60.0m ²
FSR: 1 : 0.50	278.2m ²
PROPOSED TOTAL FLOOR AREA:	164.7m ² < 278.2m ² OK

1 SITE PLAN & ROOF PLAN, SITE ANALYSIS PLAN

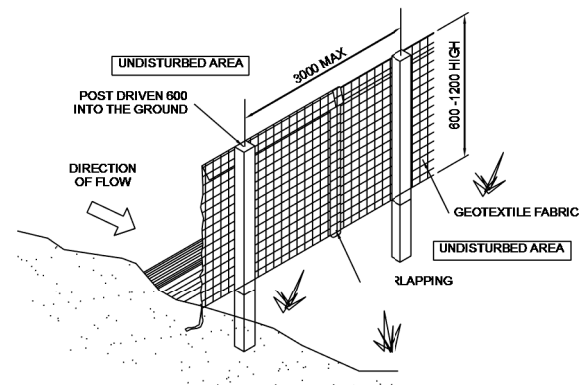
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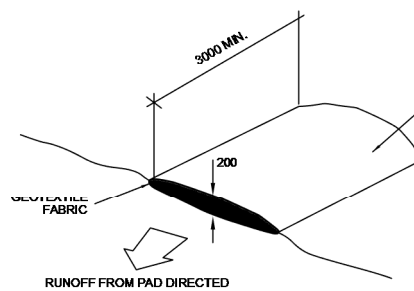
- SITE BOUNDARY
- PROPOSED GROUND FLOOR OUTLINE
- PRIVATE OPEN SPACE
GRADIENT NOT STEEPER THAN 1:50
- MIN. REQUIRED LANDSCAPED AREA
- EXISTING SETBACK
- PROPOSED SETBACK



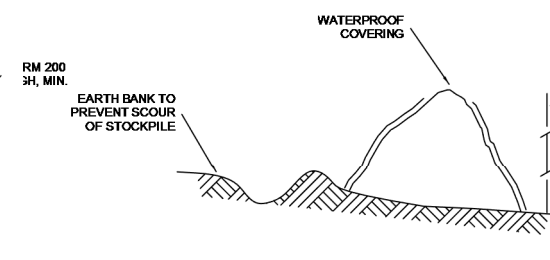
STRAW BALE DETOUR
N.T.S



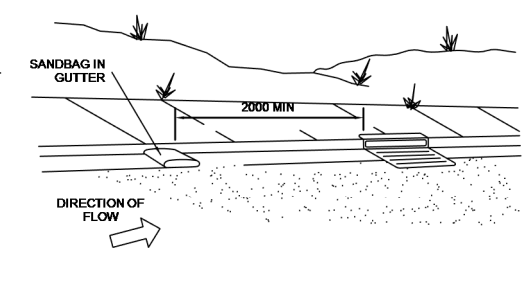
SEDIMENT AND EROSION CONTROL
N.T.S



VEHICLE ACCESS TO SITE
N.T.S
VEHICLE ACCESS TO THE BUILDING SITE SHOULD BE RESTRICTED TO A SINGLE POINT SO AS TO REDUCE THE AMOUNT OF SOIL DEPOSITED ON THE STREET PAVEMENT.



BUILDING MATERIAL STOCKPILES
N.T.S
ALL STOCKPILES OF BUILDING MATERIAL SUCH AS SAND AND SOIL MUST BE PROTECTED TO PREVENT SCOUR AND EROSION.
THEY SHOULD NEVER BE PLACED IN THE STREET GUTTER WHERE THEY WILL WASH AWAY WITH THE FIRST RAINSTORM.



SANDBAG KERB SEDIMENT TRAP
N.T.S
IN CERTAIN CIRCUMSTANCES EXTRA SEDIMENT TRAPPING MAY BE NEEDED IN THE STREET GUTTER.

ISSUED FOR DA

REV	DATE	DESCRIPTION	BY
A	31.07.2025	ISSUED FOR DA	DK

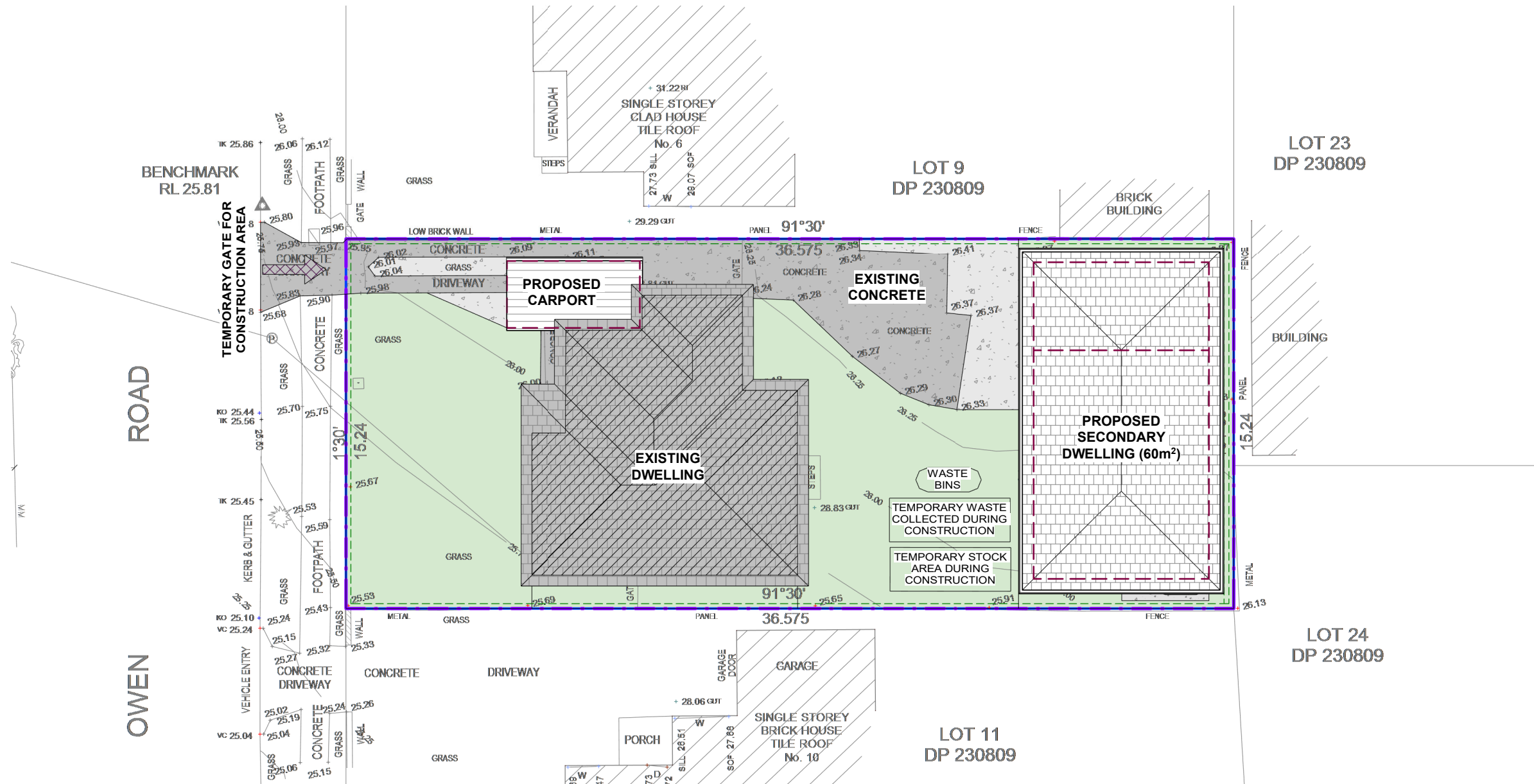
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PROPOSED SECONDARY DWELLING AND PROPOSED COVERED CARPORT
8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809
SITE PLAN, SITE ANALYSIS PLAN & ROOF PLAN, WASTE MANAGEMENT PLAN AND SEDIMENT & EROSION CONTROL PLAN

JOB NUMBER: 25374	DWG NUMBER: A01.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

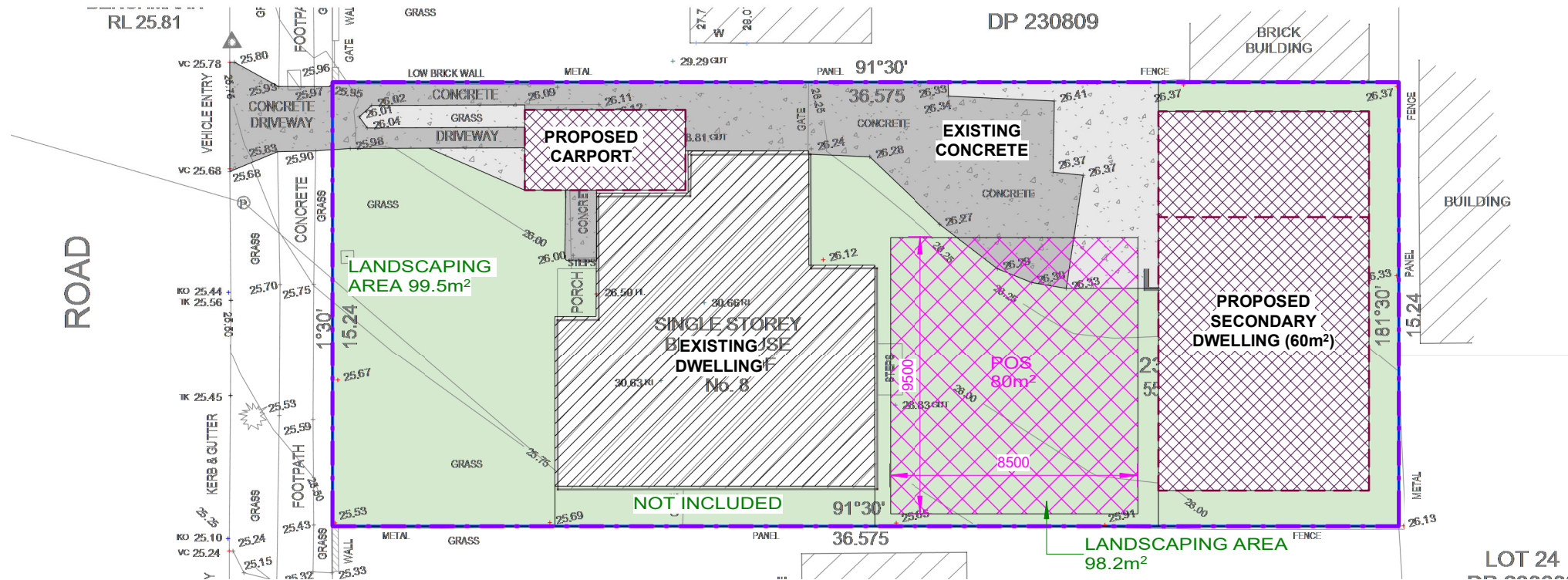


1 WASTE MANAGEMENT PLAN & SEDIMENT & EROSION CONTROL PLAN
1 : 200

- LEGEND:**
- SITE BOUNDARY
 - SEDIMENT CONTROL FENCE
 - TEMPORARY FENCE

ISSUED FOR DA

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<p>REV DATE DESCRIPTION BY</p>										<p>DESIGNED BY: A.N.</p>	<p>DATE: 18.12.2023</p>	
										<p>DRAWN BY: A.N.</p>	<p>SCALE: AS SHOWN</p>	



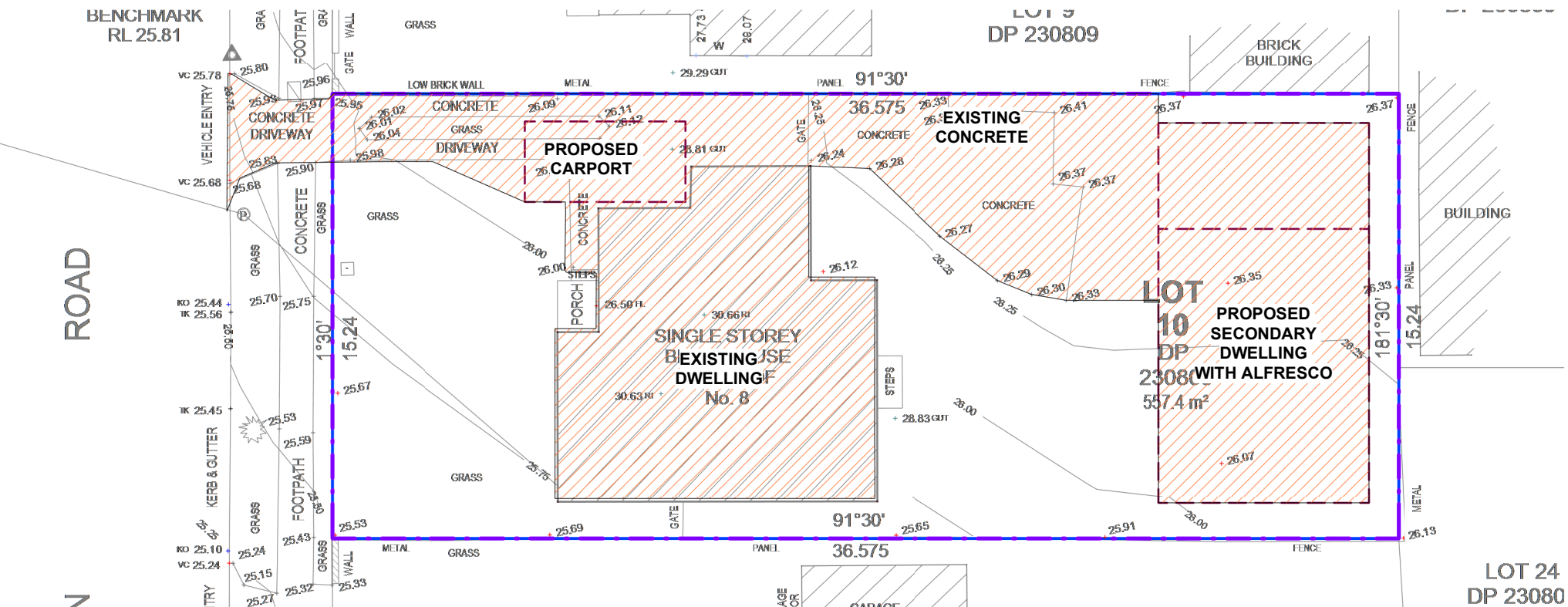
1 LANDSCAPING PLAN
1 : 200

LANDSCAPING CALCULATIONS			
SITE AREA:	556.4m ²		
MIN. LANDSC. FORWARD OF BUILDING LINE: 45% OF THE FORWARD AREA = 0.45 x 166.9m ²	75.1m ²		
PROPOSED LANDSCAPING AT FRONT:	99.5m ²	>	75.1m ² OK
PROPOSED LANDSCAPING AT REAR:	98.2m ²		
PROPOSED TOTAL LANDSCAPING:	197.7m ²	=	35.5% of site area

LEGEND:

- SITE BOUNDARY
- PROPOSED DWELLING
- PROPOSED DRIVEWAY & CONCRETE AREAS
- PROPOSED LANDSCAPING
- POS 80m²

IMPERVIOUS AREA CALCULATIONS	
SITE AREA:	556.4m ²
PROPOSED TOTAL IMPERVIOUS AREA:	322.5m ² = 58.0% of site area



3 IMPERVIOUS AREA
1 : 200

ISSUED FOR DA

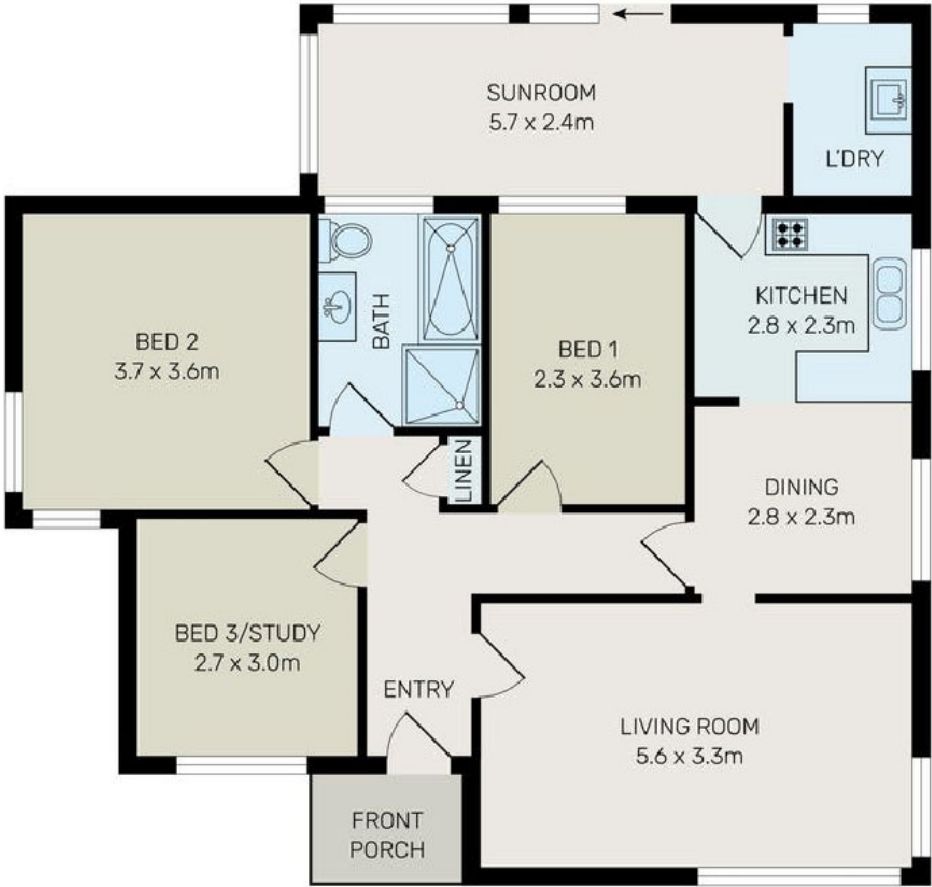
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PROPOSED SECONDARY DWELLING AND PROPOSED COVERED CARPORT 8 OWEN ROAD, GEORGES HALL LOT 10, D.P. 230809
LANDSCAPING PLAN AND IMPERVIOUS AREA

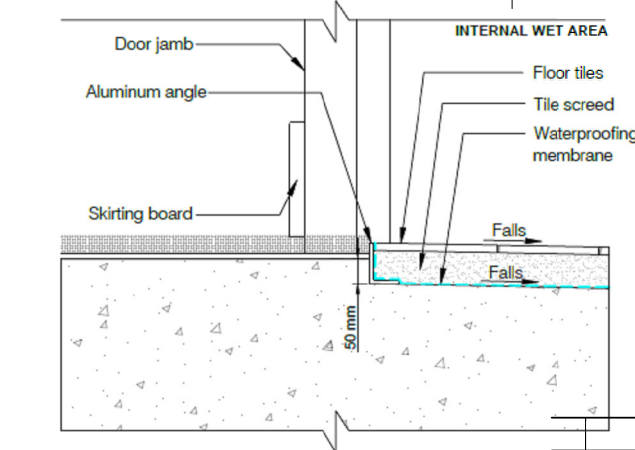
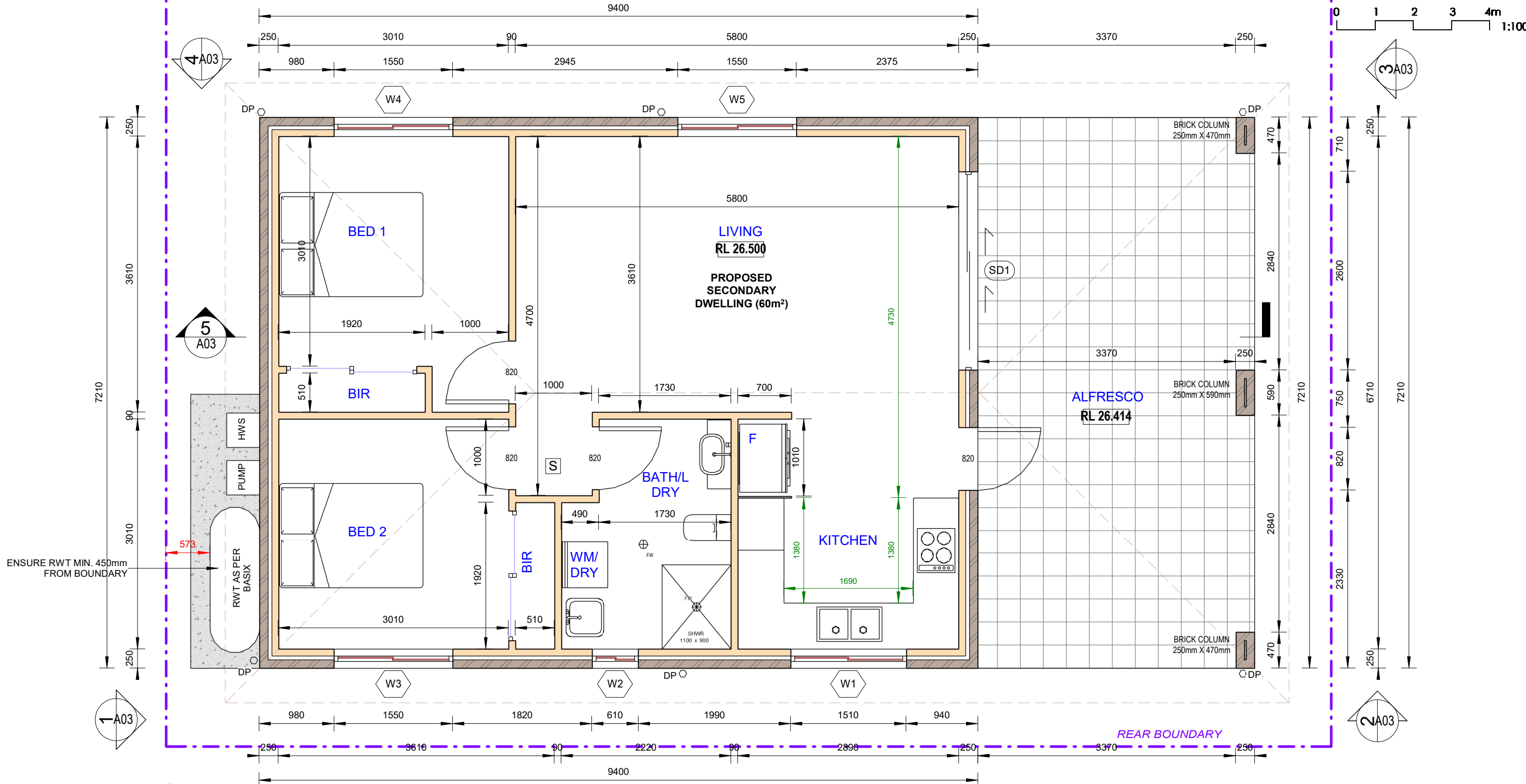
JOB NUMBER: 25374	DWG NUMBER: A01.04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	



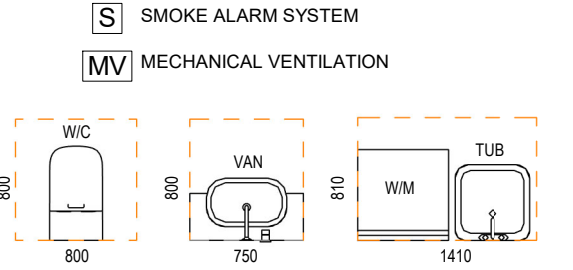
1 EXISTING HOUSE PLAN

ISSUED FOR DA

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1 PROPOSED GROUND FLOOR PLAN
1 : 50



WINDOW SCHEDULE				
Mark	Height	Width	Area	Level

W1	600	1510	0.91 m ²	GF
W2	600	610	0.37 m ²	GF
W3	1200	1550	1.86 m ²	GF
W4	1200	1550	1.86 m ²	GF
W5	1200	1550	1.86 m ²	GF

Grand total: 5 6.85 m²

SLIDING DOOR SCHEDULE				
Mark	Height	Width	Area	Level

SD1	2400	2600	6.24 m ²	GF
Grand total: 1			6.24 m ²	

INTERNAL WET AREA DOOR THRESHOLD

REV	DATE	DESCRIPTION	BY
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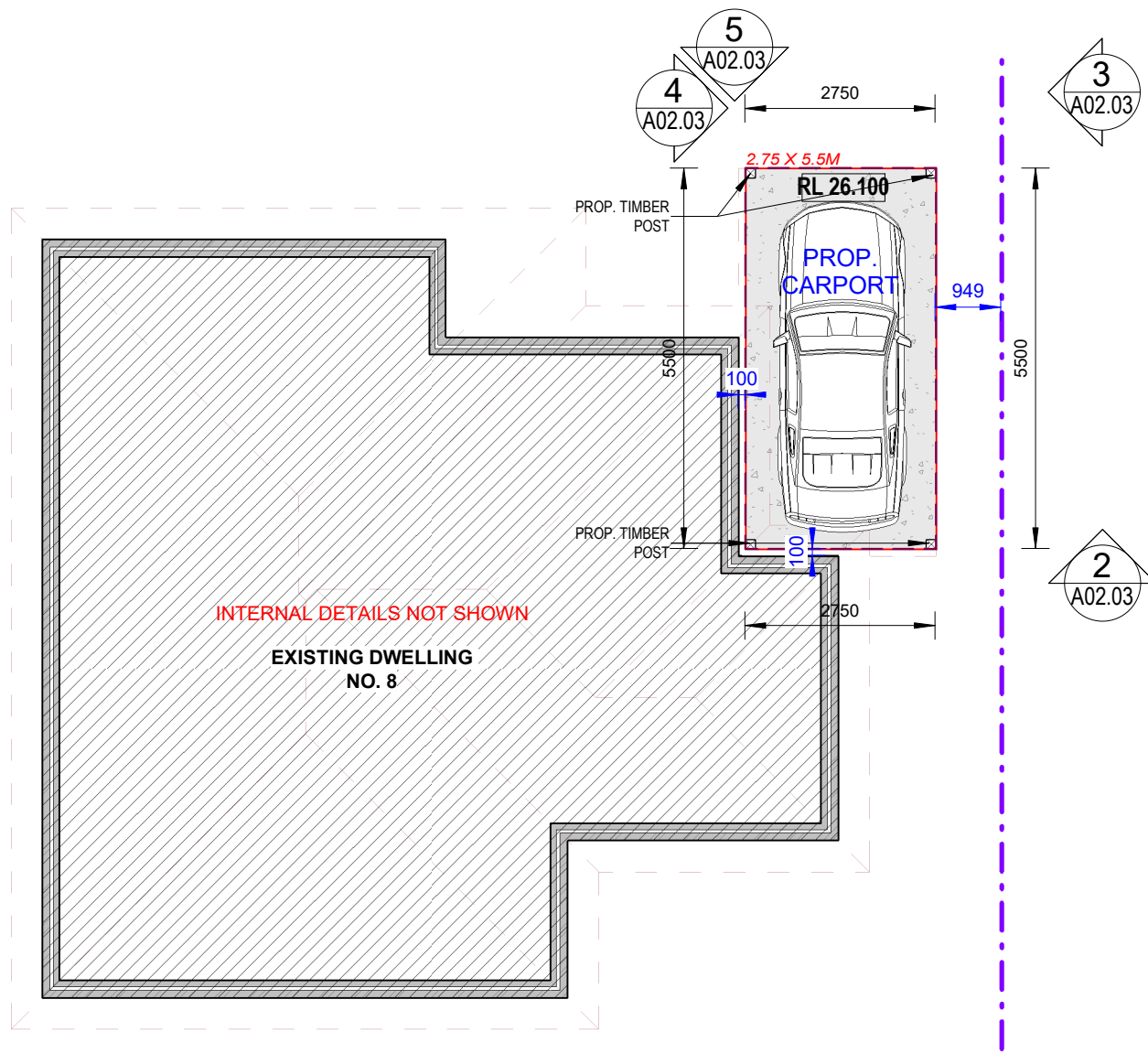
**PROPOSED SECONDARY DWELLING AND
PROPOSED COVERED CARPORT**
8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809

PROPOSED GROUND FLOOR PLAN

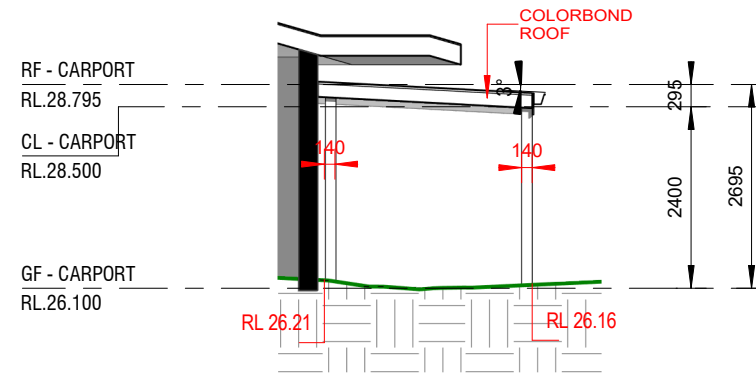
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DRAWN BY: A.N.	SCALE: AS SHOWN	

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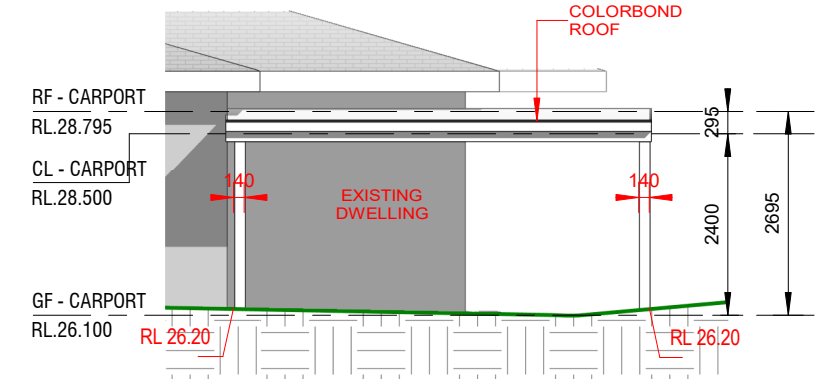
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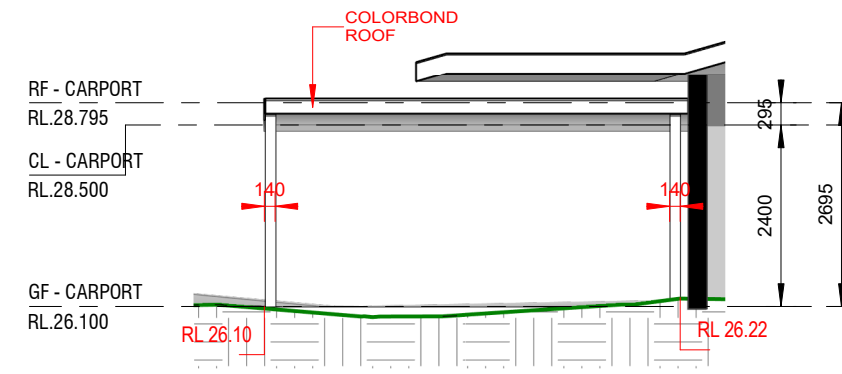
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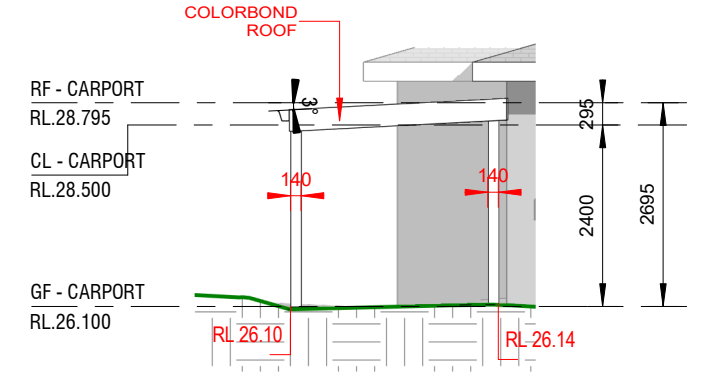
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1 : 100



3 NORTH ELEVATION - CARPORT
1 : 100



4 SOUTH ELEVATION - CARPORT
1 : 100



5 WEST ELEVATION - CARPORT
1 : 100

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E: abraham@nemcodesign.com.au

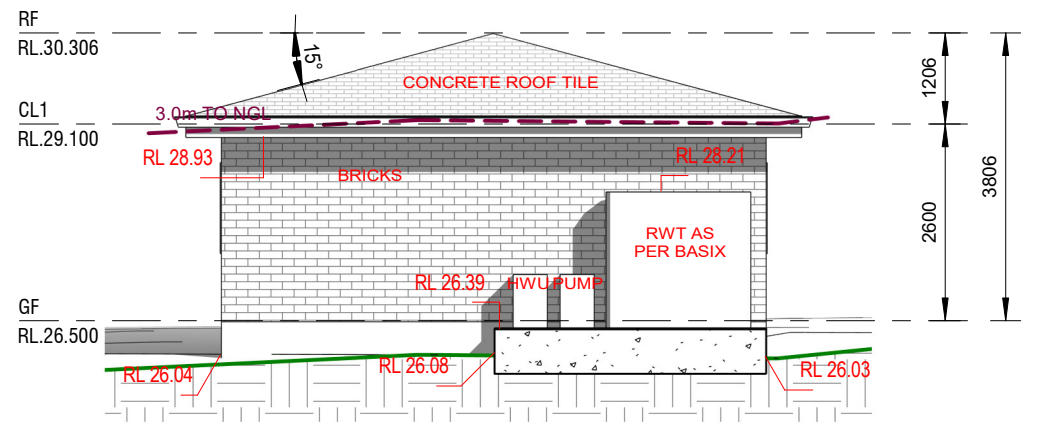
**PROPOSED SECONDARY DWELLING AND
PROPOSED COVERED CARPORT**
8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809

CARPORT FLOOR PLAN AND ELEVATIONS

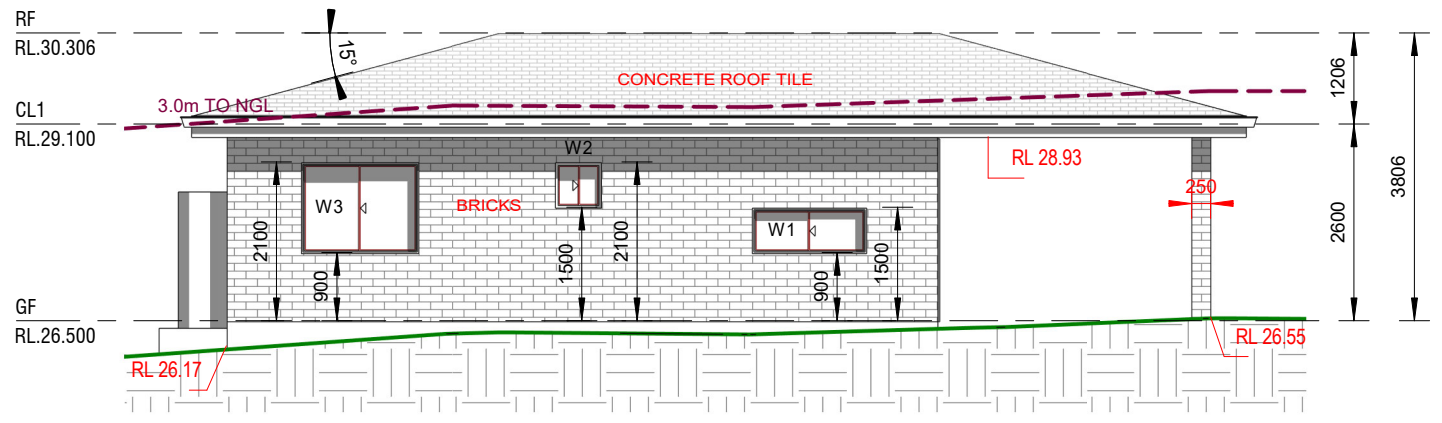
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DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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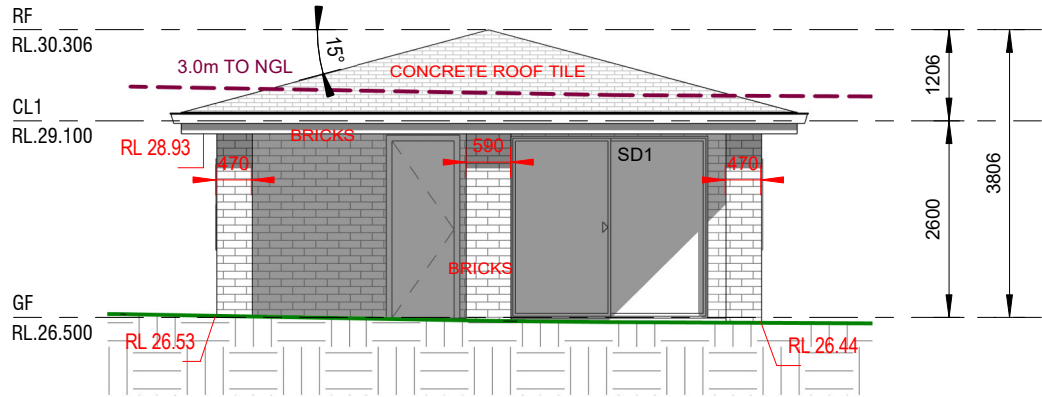
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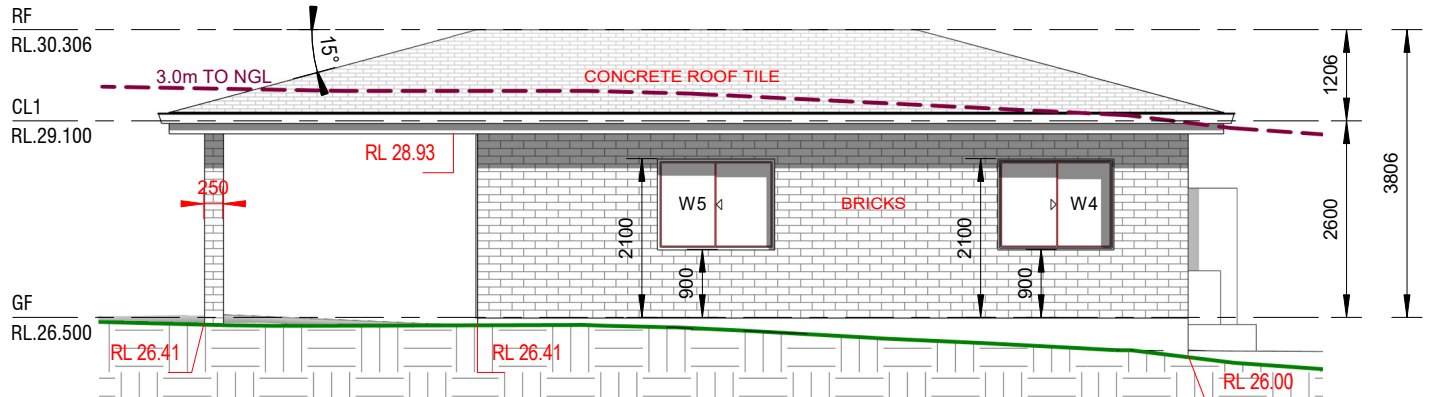
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2 EAST ELEVATION
1 : 100



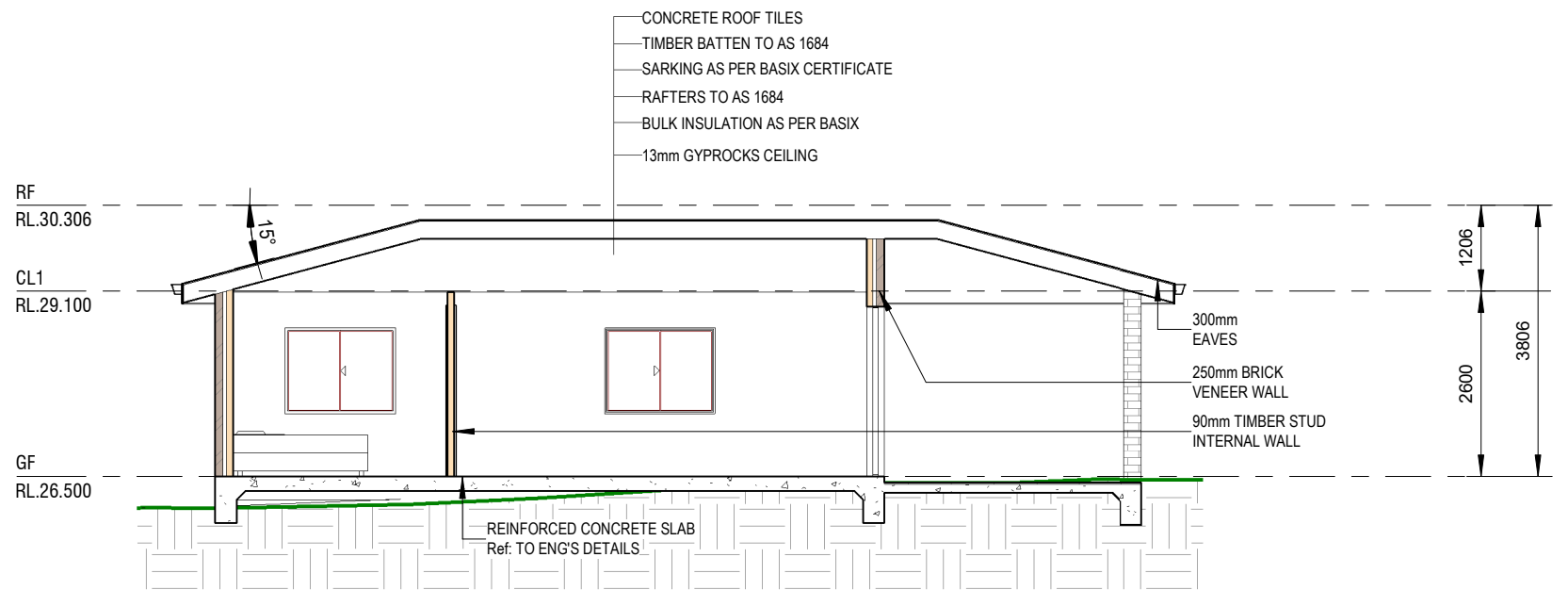
3 NORTH ELEVATION
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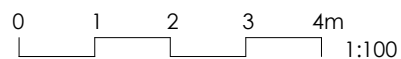
4 WEST ELEVATION
1 : 100

3.1 Windows/Sliders, Doors, External Walls and Roof

Building Component	Rw Rating to be Achieved on Site
Window, Sliding Doors in all Habitable Areas are to be 6.38mm Laminated with full perimeter Fin Mohair acoustic seals ⁽¹⁾⁽²⁾⁽³⁾	32
Windows and Sliding Doors in all other Non-Habitable Areas (Toilets, laundries,) are to be unrestricted in accordance with Australian Standard AS 2047 (Windows in Buildings) ⁽¹⁾⁽²⁾⁽³⁾	25
Entry Doors are to be solid core with acoustic seals fitted around the doors. A drop seal is also required at the base of the doors ^{(2),(3)}	30-33
External Walls & Facia are to be standard double brick cavity walls or 250/240 mm brick veneer construction with R2, 75mm thick insulation in the stud cavity and 13 mm plasterboard. ⁽²⁾⁽³⁾	50
OR 90mm conventional timber stud-framed walls clad externally with min. 6.0 mm thick selected cladding and lined internally with 13mm plasterboard, plus cavity filled with 75mm 11kg/m ³ insulation. ⁽²⁾⁽³⁾	41
Roof Colorbond Steel Roofing on 13mm plasterboard ceiling with 75mm thick, 11kg/m ³ insulation, in ceiling cavity ⁽³⁾	43-45



5 SECTION
1 : 100



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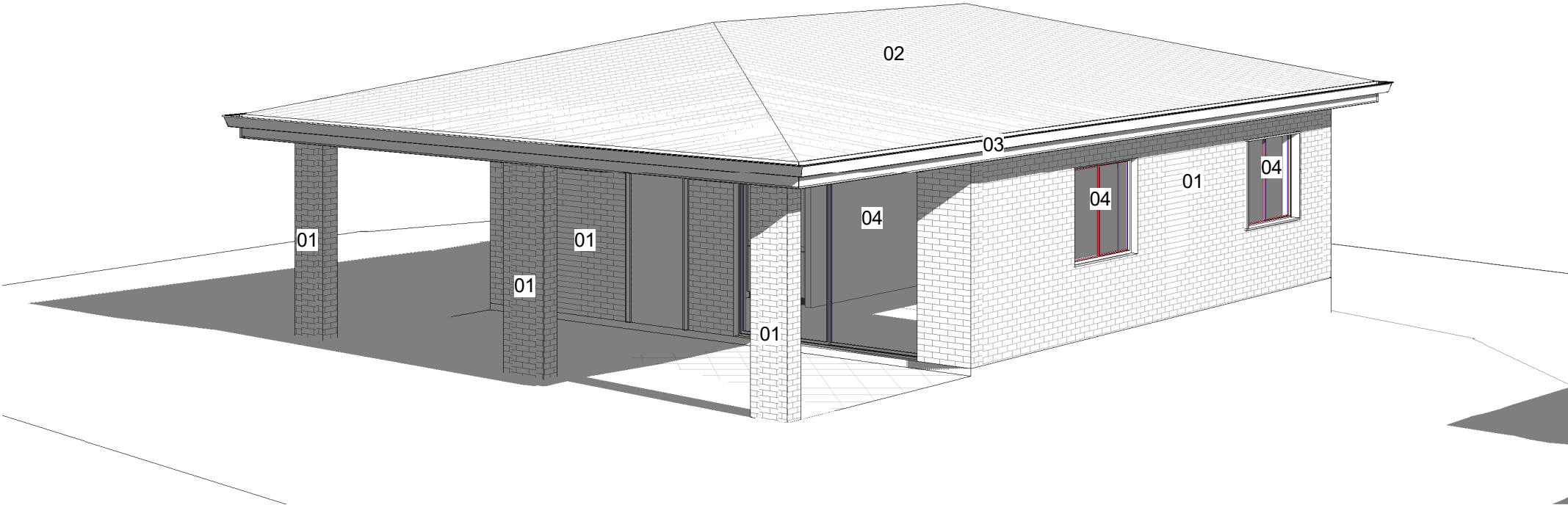
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8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809

ELEVATIONS & SECTION - SECONDARY
DWELLING

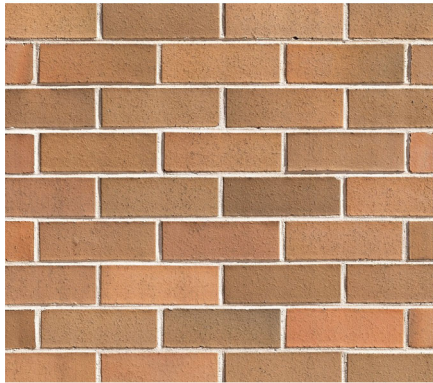
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DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1 SCHEDULE OF FINISHES



01: SELECTED FACEBRICK
TO MATCH WITH EXISTING



02: ROOF TILE



03: FASCIA & GUTTER



04: ALUMINUM WINDOWS
& DOORS

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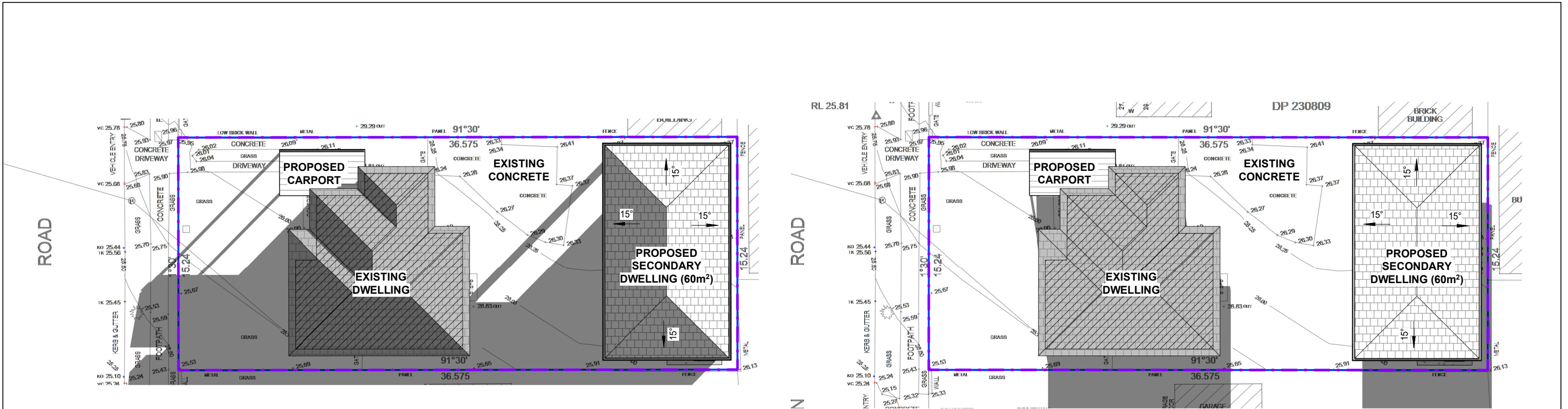
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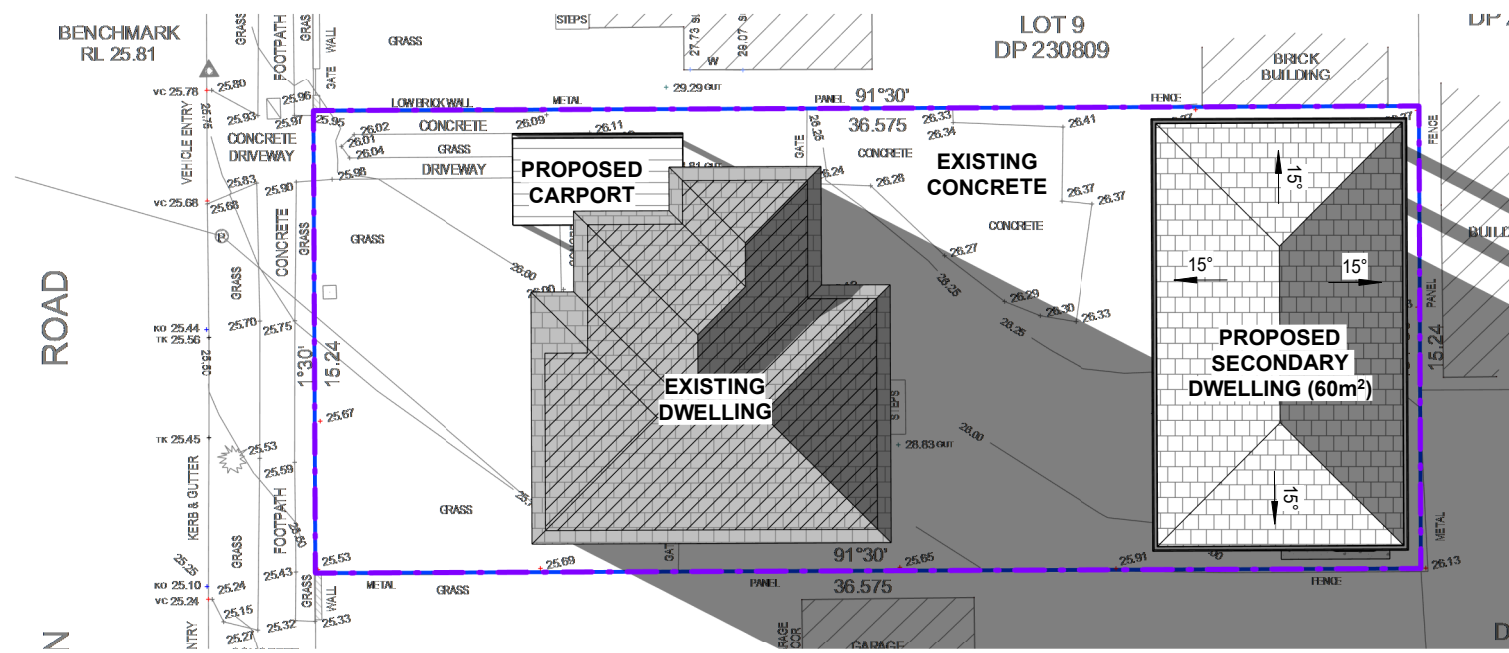
SCHEDULE OF MATERIALS & FINISHES

JOB NUMBER: 25374	DWG NUMBER: A04	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	



1 SHADOW DIAGRAM - 21ST JUN 8AM
1 : 250

2 SHADOW DIAGRAM - 21ST JUN 12PM
1 : 250



3 SHADOW DIAGRAM - 21ST JUN 4PM
1 : 250

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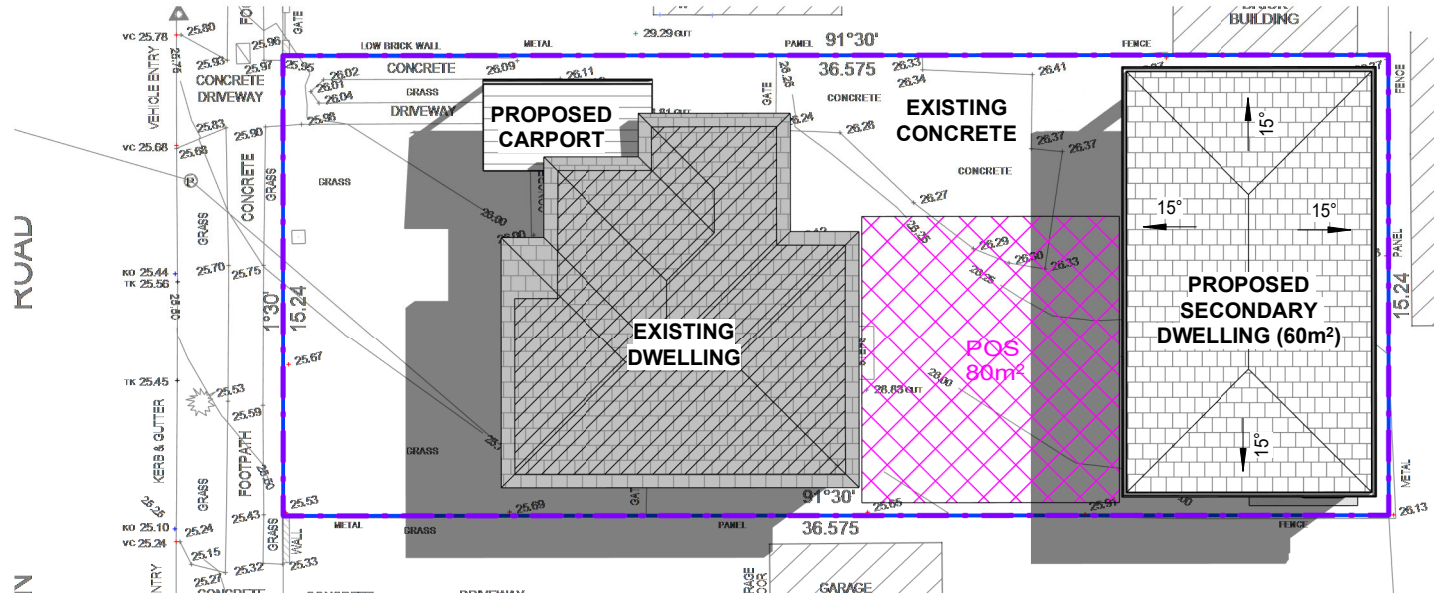
**PROPOSED SECONDARY DWELLING AND
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8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809

SHADOW DIAGRAM - 21ST JUN

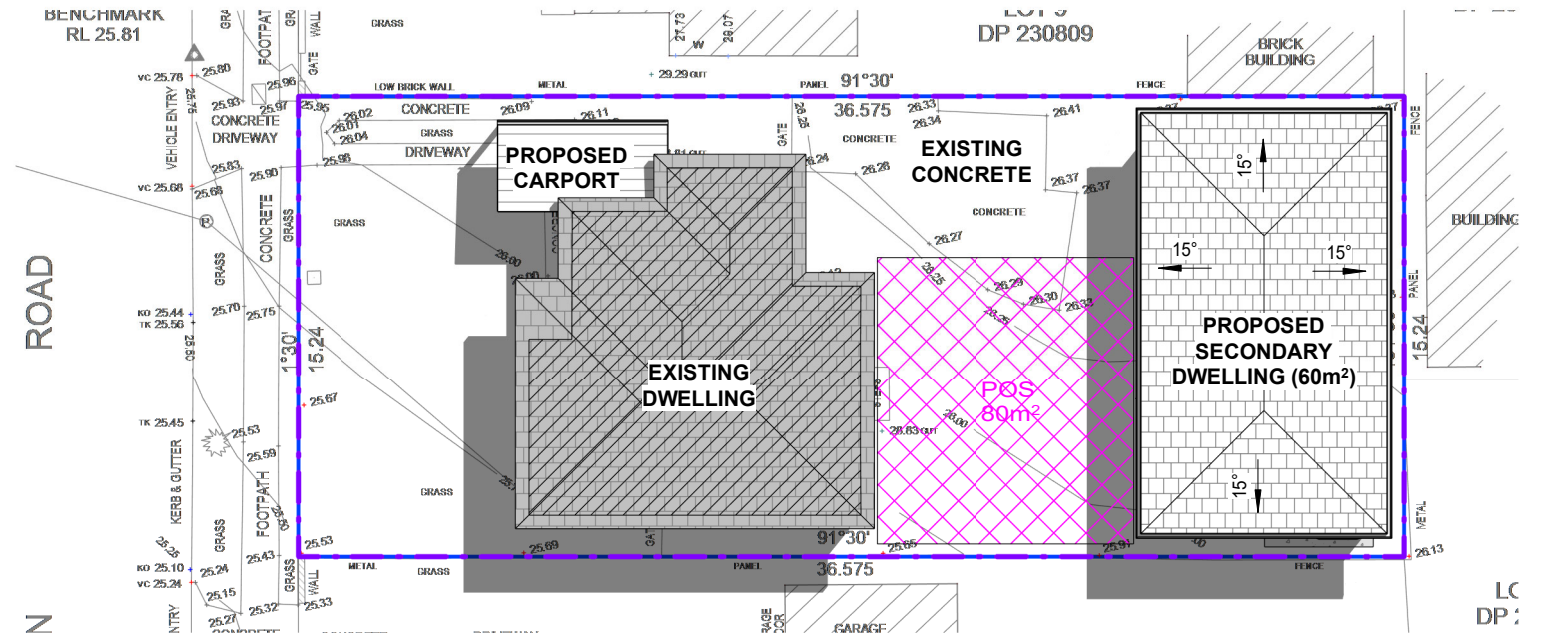
JOB NUMBER: 25374	DWG NUMBER: A05.01	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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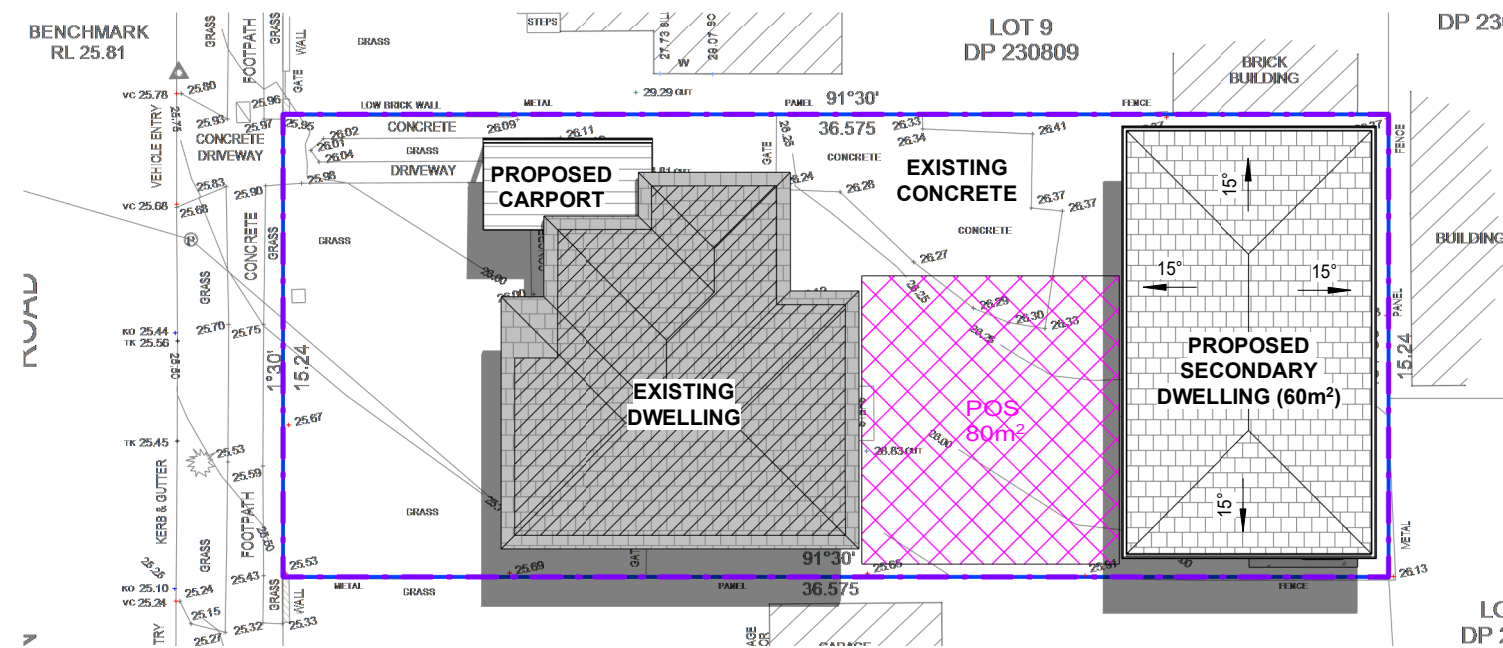
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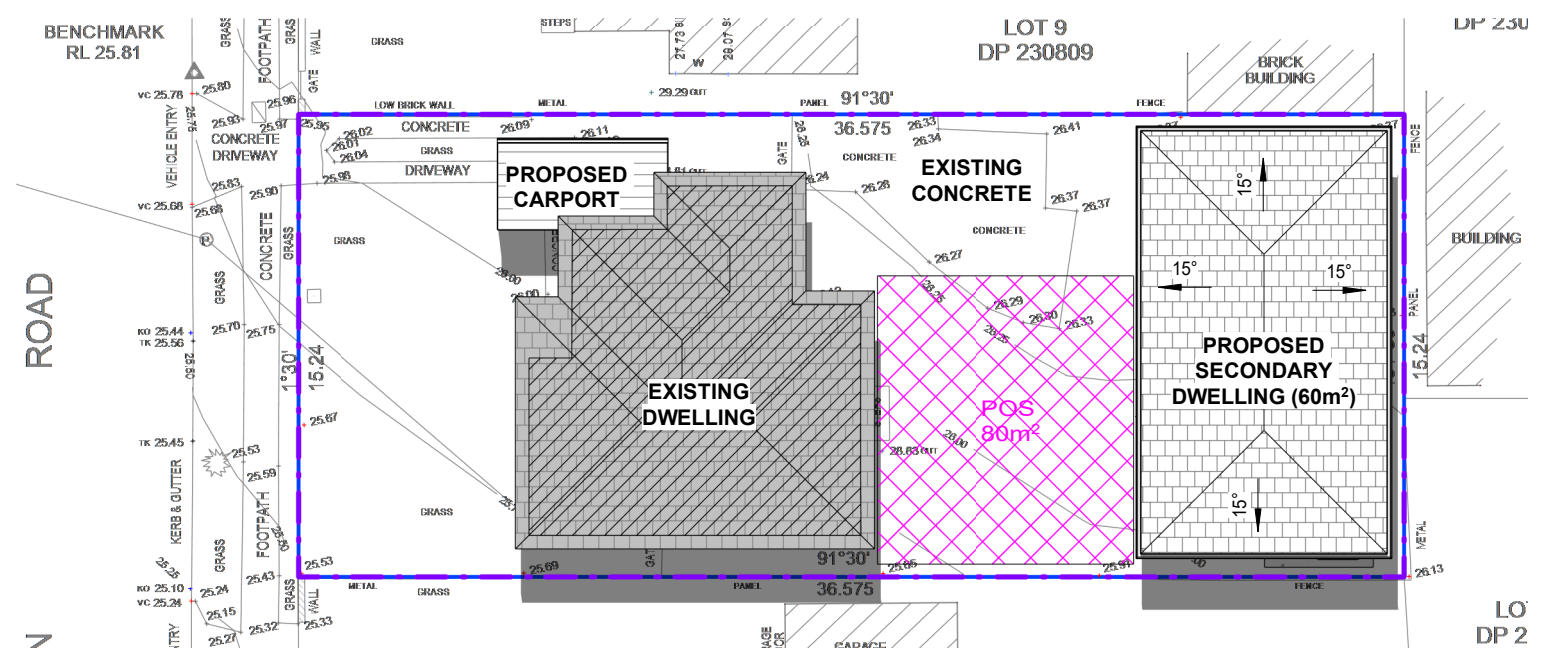
1 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR 9AM
1 : 250



2 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR 10AM
1 : 250



3 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR 11AM
1 : 250



4 3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR 12PM
1 : 250

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3 HOURS OF SUNLIGHT TO 50% POS - 20TH MAR

JOB NUMBER: 25374	DWG NUMBER: A05.02	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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1.0 INTRODUCTION

The aim of this report is to determine the building materials to be used and the construction methods to be adopted such that the proposed development at No. 8 Owen Rd, Georges Hall is built to achieve the internal noise and vibration levels as specified in AS 2021-2015 “Acoustics-Aircraft Noise Intrusion –Building Siting and Construction” and Canterbury Bankstown Council Conditions/Requirements.

As the acoustic study below shows, we certify that the internal noise attenuation levels for the proposed development at the above address will satisfy the requirements of the AS 2021-2015 and Canterbury Bankstown council requirements, provided that the materials to be used in the construction comply with the specifications presented in this report.

The site is situated on Owen Road, in the suburb of Georges Hall (Figure 1 – Site Location). The architectural plans by Nemco dated December 18th, 2023 are for the proposed construction of secondary dwelling at the rear of an existing dwelling (Figure 2 – Proposed Site Plan).

2.0 ACOUSTICAL STUDY

The site is located north of Bankstown Airport, between the ANEF 20 and ANEF 25 contours (Figure 3 – ANEF Bankstown Airport Map). According to Table 2.1 of *AS 2021:2015 Acoustics – Aircraft noise intrusion – Building siting and construction*, any home unit development is conditional acceptable, provided all building elements are constructed in accordance with the noise mitigation requirements of the above code. The noise attenuation proposed in this report and the building components treatments described below will result in a residence that is more acoustic sound than surrounding houses and existing residence.

All aircraft noise attenuation to be expected from the proposed additions and alteration is determined in accordance with Clause 3.2. Maximum allowable indoor noise level as determined from Table 3.3 is 50dB(A) for relaxing and sleeping areas, 55dB(A) for other habitable areas and 60dB(A) for toilets and kitchen.

DT, DL, DS for the critical runway (Figure 4 – Critical Runway) are determined as per Figure 3.1 page 16 of the above code and presented in the table below:

Critical Runway (metres)	
DS	800
DL	47
DT	1075

The maximum aircraft noise level as determined from Table **3.51(B)** through **3.53(B)** is **65 dB (A)** for typical general aviation aircraft on take-off, such as BEC58P and CAN182 fixed wing aircraft.

- The Aircraft Noise Reduction, in sleeping areas and dedicated lounges is **65-50= 15 dB(A)**
- The Aircraft Noise Reduction in any other habitable spaces is **65 -55= 10 dB(A)**
- The Aircraft Noise Reduction in bathrooms, toilets and laundries **65-60= 5 dB(A)**

3.0 FAÇADE & ROOF WEIGHTED SOUND REDUCTION INDICES R_w

The building façade and roof weighted sound reduction indices R_w are determined in accordance with Appendix C and Appendix G, Section G3.1 of AS 2021:2015. The most practical façade and roof material specifications and building components to suit the required noise reduction indices for the above project are provided in Table 3.1 below:

3.1 Windows/Sliders, Doors, External Walls and Roof

<i>Building Component</i>	<i>Rw Rating to be Achieved on Site</i>
Window, Sliding Doors in all Habitable Areas are to be 6.38mm Laminated with full perimeter Fin Mohair acoustic seals ⁽¹⁾⁽²⁾⁽³⁾	32
Windows and Sliding Doors in all other Non-Habitable Areas (Toilets, laundries,) are to be unrestricted in accordance with Australian Standard AS 2047 (Windows in Buildings) ⁽¹⁾⁽²⁾⁽³⁾ .	25
Entry Doors are to be solid core with acoustic seals fitted around the doors. A drop seal is also required at the base of the doors ^{(2),(3)} .	30-33
External Walls & Facia are to be standard double brick cavity walls or 250/240 mm brick veneer construction with R2, 75mm thick insulation in the stud cavity and 13 mm plasterboard. ⁽²⁾⁽³⁾ .	50
OR	
90mm conventional timber stud-framed walls cladded externally with min. 6.0 mm thick selected cladding and lined internally with 13mm plasterboard, plus cavity filled with 75mm 11kg/m ³ insulation. ⁽²⁾⁽³⁾ .	41
Roof Colorbond Steel Roofing on 13mm plasterboard ceiling with 75mm thick, 11kg/m3 insulation, in ceiling cavity ⁽³⁾	43-45

NB: This report is to be read in conjunction with the **BASIX/NatHERS** certificate and any other related building specification.

(1) No see-through weep holes in windows/sliders. (2) All gaps between window & door frames and the masonry walls are to be sealed using acoustic foam Hilti CP620 or similar (Bostic/Parfix/Sika). Glass wool batts should be applied prior to the application of the foam to seal larger gaps. (3) All gaps are to be acoustically sealed.

4.0 Conclusion

As the acoustical study above shows, we certify that the internal noise attenuation levels for the proposed development at No. 8 Owen Rd, Georges Hall will satisfy the requirements of the AS 2021-2015 “Acoustics-Aircraft Noise Intrusion –Building Siting and Construction” and Canterbury Bankstown requirements, provided that the above recommended materials are used in construction. The internal noise levels in the proposed home units will enable reasonable amenity for the occupants.

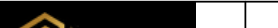

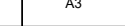
We hope this report meets your requirements. Should you require further explanations, please do not hesitate to contact us.

Yours sincerely,

[Handwritten signature]

M. Zaioor
M.S. Eng'g Sci. (UNSW).
M.I.E.(Aust), CPEng.
Australian Acoustical Society (Member).

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A	31.07.2025	ISSUED FOR DA	DK				DESIGNED BY: A.N.	DATE: 18.12.2023	
REV	DATE	DESCRIPTION	BY			ACOUSTIC REQUIREMENTS	DRAWN BY: A.N.	SCALE: AS SHOWN	

BASIX™Certificate

Building Sustainability Index
www.planningportal.nsw.gov.au/development-and-assessment/basix

Single Dwelling

Certificate number: 18065125

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.planningportal.nsw.gov.au/definitions

Secretary
Date of issue: Thursday, 31 July 2025
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary			
Project name	25374 - 8 Owen Road, Georges Hall		
Street address	8 OWEN ROAD, GEORGES HALL, NEW SOUTH WALES 2198		
Local Government Area	Canterbury-Bankstown Council		
Plan type and plan number	Deposited Plan 230809		
Lot no.	10		
Section no.	-		
Project type	dwelling house (detached) - secondary dwelling		
No. of bedrooms	2		
Project score			
Water	✓ 40		Target 40
Thermal Performance	✓ Pass		Target Pass
Energy	✓ 70		Target 68
Materials	✓ -30		Target n/a

Certificate Prepared by	
Name / Company Name: NEMCO DESIGN PTY. LTD.	
ABN (if applicable):	

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 18065125 Thursday, 31 July 2025 page 1/11

Description of project

Project address		Assessor details and thermal loads	
Project name	25374 - 8 Owen Road, Georges Hall	NABHERS assessor number	n/a
Street address	8 OWEN ROAD, GEORGES HALL, NEW SOUTH WALES 2198	NABHERS certificate number	n/a
Local Government Area	Canterbury-Bankstown Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 230809	Area adjusted cooling load (MJ/ m²/year)	n/a
Lot no.	10	Area adjusted heating load (MJ/ m²/year)	n/a
Section no.	-	Project score	
Project type		Water	✓ 40 Target 40
Project type	dwelling house (detached) - secondary dwelling	Thermal Performance	✓ Pass Target Pass
No. of bedrooms	2	Energy	✓ 70 Target 68
Site details		Materials	✓ -30 Target n/a
Site area (m²)	556		
Roof area (m²)	117		
Conditioned floor area (m²)	52.8		
Unconditioned floor area (m²)	6.9		
Total area of garden and lawn (m²)	60		
Roof area of the existing dwelling (m²)	135		
Number of bedrooms in the existing dwelling	4		

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Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 4.5 but <= 6 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 1200 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 116.87 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
• all toilets in the development		✓	✓
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✓

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, waffle pool slab.	59.7	nil/not specified	nil	
external wall: brick veneer; frame: ember - H2 treated softwood.	all external walls	2.44 (or 3.00 including construction)rockwool batts, roll or pump-in	nil	wall colour: Medium (solar absorptance 0.48-0.7)
internal wall: plasterboard, frame: ember - H2 treated softwood.	66.5	none	nil	

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Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
ceiling and roof - flat ceiling / pitched roof, framed - concrete tile, timber - H2 treated softwood.	116.87	ceiling: 4.7 (up), roof: foil sarking; ceiling: rockwool batts, roll or pump-in; roof: foil sarking.	nil	roof space ventilation: wind-driven ventilator(s) + eave vents; roof colour: medium (solar absorptance 0.48-0.59); 0.5 to < 1.0% of ceiling area uninsulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (b)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interactions with adjoining building materials.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below. In accordance with the specifications listed in the table, relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
SD1	2400.00	2600.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed
East facing					
W1	600.00	1510.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed
W2	600.00	610.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed

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Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W3	1200.00	1550.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed
West facing					
W4	1200.00	1550.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed
W5	1200.00	1550.00	aluminium, single glazed (U-value: <=6.0, SHGC: 0.60 - 0.74)	eave 300 mm, 450 mm above head of window or glazed door	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 26 to 30 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 4.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, open to façade; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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ISSUED FOR DA

A	31.07.2025	ISSUED FOR DA	DK
REV	DATE	DESCRIPTION	BY

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**PROPOSED SECONDARY DWELLING AND
PROPOSED COVERED CARPORT**
**8 OWEN ROAD, GEORGES HALL
LOT 10, D.P. 230809**

BASIX REQUIREMENTS

JOB NUMBER: 25374	DWG NUMBER: A07	ORIGINAL SIZE: A3
DESIGNED BY: A.N.	DATE: 18.12.2023	
DRAWN BY: A.N.	SCALE: AS SHOWN	

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